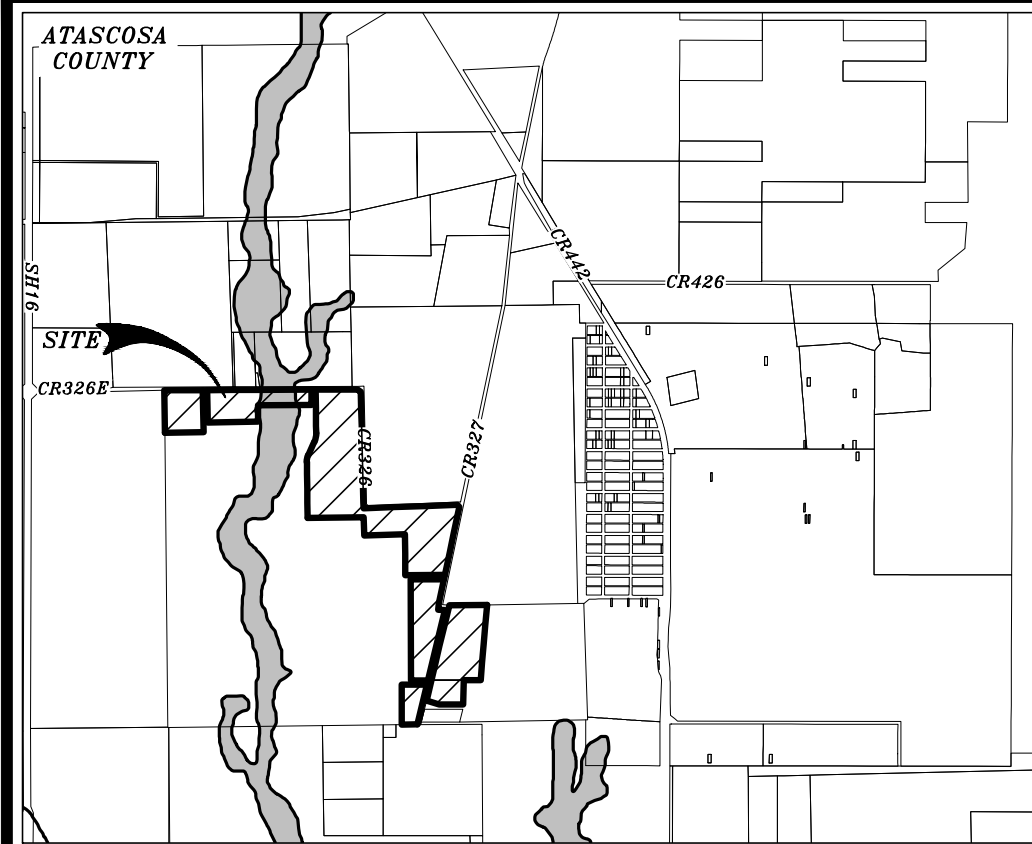
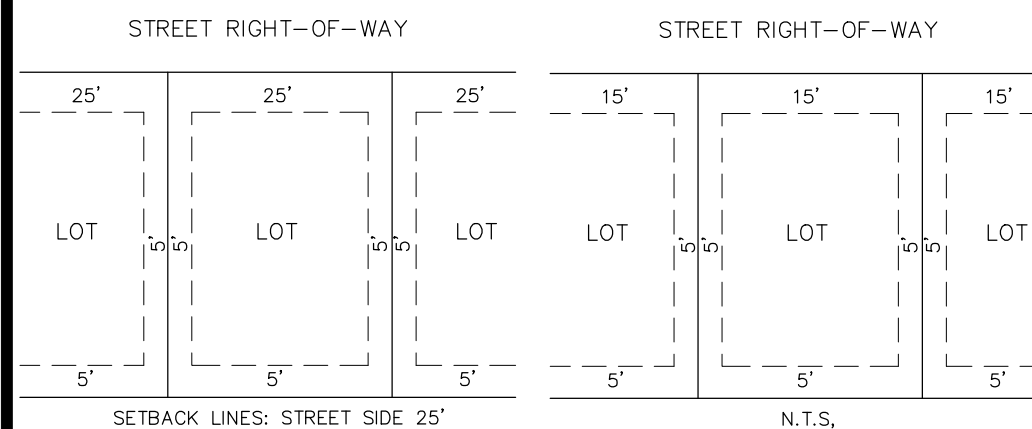


Date: Jan 09, 2024, 1:39pm User ID: CAD2023-1  
File: N:\Projects\2023\123-30646 Kickeros CR326 Jourdan Unit 1\Civil\Plan\123-30646 PLAT.dwg



TYPICAL LOT WITH SETBACK LINES



THE STATE OF TEXAS  
COUNTY OF ATASCOSA

KNOW ALL MEN BY THESE PRESENTS:

THAT I, WALT F. RAKOWITZ, BEING A REGISTERED PROFESSIONAL LAND SURVEYOR, REGISTERED IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND SHOWN HEREON, AND THAT THE CORNER MONUMENTS SHOWN HEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF ATASCOSA COUNTY, TEXAS.



WALT F. RAKOWITZ  
515 W. OAKLAWN, STE A  
PLEASANTON, TEXAS 78064  
REGISTERED PROFESSIONAL LAND SURVEYOR  
NO. 6435, STATE OF TEXAS

THE STATE OF TEXAS  
COUNTY OF ATASCOSA

I, WALT F. RAKOWITZ, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAT PREPARED BY ME, DOES TO THE BEST OF MY KNOWLEDGE ACCURATELY REFLECT THE GENERAL LOCATION (OR ABSENCE) OF ALL STREAMS, RIVERS, PONDS, LAKES, OTHER WATER FEATURES OR ANY SENSITIVE FEATURES AND COMPLIES WITH THE SUBDIVISION AND FLOODPLAIN MANAGEMENT ORDINANCES ADOPTED BY ATASCOSA COUNTY, TEXAS.



WALT F. RAKOWITZ  
515 W. OAKLAWN, STE A  
PLEASANTON, TEXAS 78064  
LICENSED PROFESSIONAL ENGINEER  
NO. 96536, STATE OF TEXAS

ENGINEER & SURVEYOR:  
RAKOWITZ ENGINEERING AND SURVEYING  
515 W OAKLAWN, SUITE A  
PLEASANTON, TX 78064  
(830) 281-4060

OWNER:  
HAUKI INVESTMENTS LLC  
20965 CIELO VISTA DR.  
SAN ANTONIO, TEXAS 78255  
(210) 827-0750



830.281.4060 515 W Oaklawn Rd Suite A PLEASANTON, TX 78064

#### ATASCOSA COUNTY SUBDIVISION REGULATION NOTES:

- THE SUBDIVISION IS IN THE JOURDANTON ISD.
- CONVEYANCE OF LOTS SHALL NOT BE PERMITTED UNTIL THE FINAL PLAT HAS BEEN APPROVED BY THE ATASCOSA COUNTY COMMISSIONERS COURT, AND THE RECORDED PLAT FILED WITH THE COUNTY CLERK.
- NO DRIVEWAY CONSTRUCTED ON ANY LOT WITHIN THIS SUBDIVISION SHALL BE PERMITTED ACCESS ONTO A PUBLICLY DEDICATED ROADWAY UNLESS A DRIVEWAY PERMIT HAS BEEN APPROVED BY THE PRECINCT COMMISSIONER OF ATASCOSA COUNTY OR HIS OR HER DESIGNATED REPRESENTATIVE, OR TXDOT FOR DRIVEWAYS ENTERING ONTO STATE ROADS, AND THE DRIVEWAY SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE ATASCOSA COUNTY ROAD STANDARDS OR TXDOT STANDARDS, AS APPLICABLE.
- THE MINIMUM DRIVEWAY CULVERT SIZE FOR EACH LOT SHALL NOT BE LESS THAN 18 INCHES.
- NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC WATER SYSTEM OR AN INDIVIDUAL WATER SYSTEM. DUE TO DECLINING WATER SUPPLY, PROSPECTIVE PROPERTY OWNERS ARE CAUTIONED BY ATASCOSA COUNTY TO QUESTION THE SELLER CONCERNING GROUNDWATER AVAILABILITY. RAIN WATER COLLECTION IS ENCOURAGED AND IN SOME AREAS MAY OFFER THE BEST RENEWABLE WATER RESOURCE.
- NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SEWER SYSTEM OR TO AN ON-SITE WASTEWATER SYSTEM THAT HAS BEEN APPROVED AND PERMITTED BY THE ATASCOSA COUNTY HEALTH INSPECTOR.
- NO STRUCTURE OR DEVELOPMENT WITHIN THE SUBDIVISION MAY BEGIN UNTIL FINAL APPROVAL OF THE PLAT BY ATASCOSA COUNTY COMMISSIONERS COURT AND RECORDING OF THE APPROVED PLAT BY THE COUNTY CLERK.
- THE LOCATION AND DIMENSIONS OF STREETS AS SET FORTH AND LAID OUT ON THIS PLAT ARE IN ACCORDANCE WITH THE SUBDIVISION AND DEVELOPMENT REGULATIONS OF ATASCOSA COUNTY, TEXAS.
- NO HOMES ARE TO BE BUILT OR BROUGHT ONTO THE LOT(S) UNTIL FLOODPLAIN PERMITS HAVE BEEN OBTAINED AND AN APPLICATION FOR SEPTIC PERMIT HAS BEEN SUBMITTED.
- WATER SERVICE PROVIDED TO THIS SUBDIVISION BY MCCOY WSC.
- ELECTRIC SERVICE PROVIDED TO THIS SUBDIVISION BY AEP OR KARNES ELECTRIC COOPERATIVE INC.
- IN ORDER TO PROMOTE SAFE USE OF ROADWAYS AND PRESERVE THE CONDITIONS OF PUBLIC ROADWAYS, NO DRIVEWAY CONSTRUCTED ON ANY LOT WITHIN THIS SUBDIVISION SHALL BE PERMITTED ACCESS ONTO A PUBLICLY DEDICATED ROADWAY UNLESS A DRIVEWAY PERMIT HAS BEEN APPROVED BY THE PRECINCT COMMISSIONER OF ATASCOSA COUNTY OR HIS OR HER DESIGNATED REPRESENTATIVE, OR TEXAS DEPARTMENT OF TRANSPORTATION FOR DRIVEWAYS ENTERING ONTO STATE ROADS, AND THE DRIVEWAY SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE ATASCOSA COUNTY ROAD STANDARDS OR TXDOT STANDARDS, AS APPLICABLE.
- THIS SUBDIVISION WILL BE SERVED BY MCCOY WATER SUPPLY CORPORATION, 2125 FM541, MCCOY, TEXAS 78113. INFORMATION ON THE MCCOY WATER SUPPLY CORPORATION IS AVAILABLE TO PROSPECTIVE PURCHASERS OF LOTS IN THE OFFICE OF THE COUNTY CLERK OF ATASCOSA COUNTY, TEXAS AND BE STATED IN THE DEED RESTRICTIONS.
- ALL LOTS HAVE BEEN DESIGNED IN COMPLIANCE WITH THE RULES OF ATASCOSA COUNTY FOR ON-SITE SEWAGE FACILITIES.

**LEGEND**

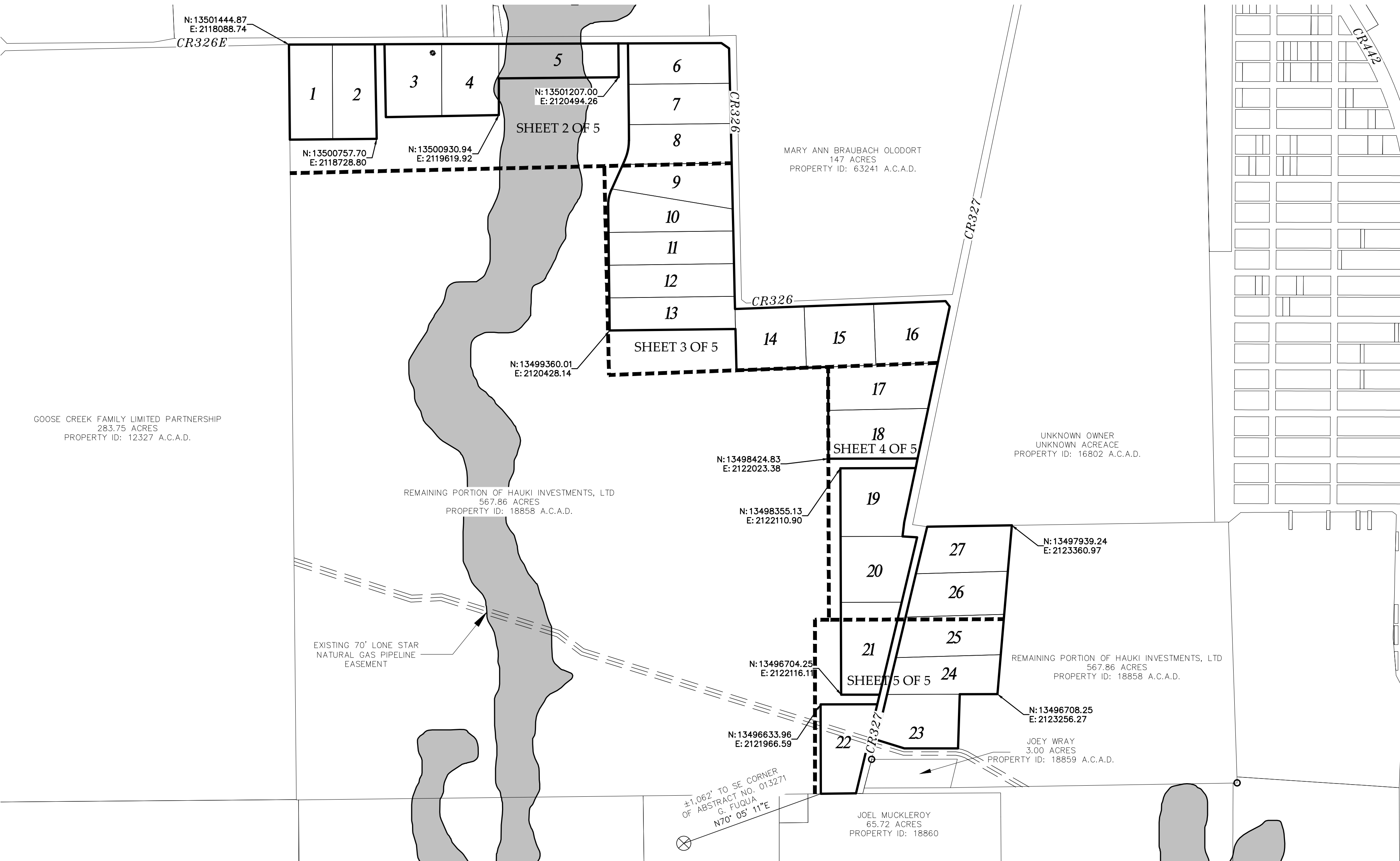
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PSS = PAGES  
R.O.W. = RIGHT-OF-WAY  
VOL. = VOLUME  
A.C.A.D. = ATASCOSA COUNTY APPRAISAL DISTRICT  
LOT NUMBER  
GROSS LOT ACREAGE

**4 LOT AC**

● = FOUND STEEL ROD MONUMENT  
● = SET 5/8" STEEL ROD MONUMENT WITH CAP STAMPED "RAKOWITZ ENGINEERING & SURVEYING"

— = PROPERTY LINE  
— = LOT LINE  
— = 100-YEAR FLOODPLAIN  
— = 1985 FEMA MAP NO. 48013C0475C EFFECTIVE DATE: 11/04/2010  
— = ADJUNCTION  
— = EXISTING LONE STAR PIPELINE ESMT  
— = EXISTING WATER WELL

#### INDEX MAP



## PLAT OF SONORA HEIGHTS - UNIT 1

BEING 138.78 ACRES, ESTABLISHING LOTS 1-27, BEING PART OF A 508.05 ACRE TRACT, CALLED PARCEL I AND PART OF A 25.16 ACRE TRACT, CALLED PARCEL II, DESCRIBED IN AN INSTRUMENT, RECORDED IN CLERK'S FILE NO. 239129, OFFICIAL PUBLIC RECORDS, ATASCOSA COUNTY, TEXAS, LYING IN THE TERRELL, BELL & HYMAN'S SUBDIVISION OF THE BROWN RANCH, DESCRIBED IN AN INSTRUMENT, RECORDED IN SHEET 3A, NEW PLAT CABINET, PLAT RECORDS, ATASCOSA COUNTY, TEXAS OF WHICH 10.14 ACRES LIES IN THE G.F. HINDES SURVEY NO. 605 1/2, ABSTRACT NO. 1490, ATASCOSA COUNTY, TEXAS AND 78.64 ACRES LIES IN THE GALBA FUQUA SURVEY NO. 1181, ABSTRACT NO. 271, ATASCOSA COUNTY, TEXAS, AND ALSO HAVING AN ADDITIONAL 50.00 ACRES LYING IN THE CONSOLIDATED EL PASO IRR. & MFG. SURVEY NO. 600, ABSTRACT NO. 936, ATASCOSA COUNTY, TEXAS.

#### SURVEYOR NOTES:

- THE BASIS OF BEARING FOR THIS PLAT IS GRID NORTH, TEXAS STATE PLANE COORDINATE SYSTEM, NAD 83 (2011), SOUTH CENTRAL ZONE.
- 5/8" STEEL ROD MONUMENT WITH CAP STAMPED "RAKOWITZ ENGINEERING AND SURVEYING" SET AT ALL CORNERS UNLESS OTHERWISE NOTED.

#### SETBACK NOTES:

UNLESS OTHERWISE NOTED, BUILDING SETBACKS TO BE AS FOLLOWS FOR ALL LOTS:  
25' FRONT (STREET SIDE)  
5' BACK  
5' SIDE

#### FLOODPLAIN NOTE:

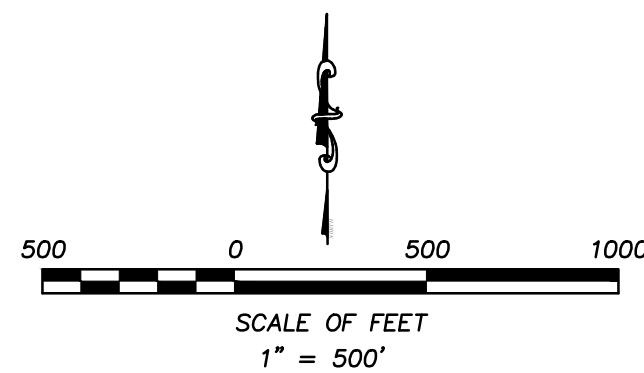
THE LIMITS OF THIS PLAT DOES CONTAIN ZONE A FEMA FLOODPLAIN AS SHOWN ON FIRM MAP NUMBER 48013C0475C EFFECTIVE NOVEMBER 4, 2010.

LOTS AFFECTED BY SPECIAL FLOOD HAZARD AREA (SFHA) ARE AS FOLLOWS:  
LOTS 4-5

LOT #	MINIMUM CULVERT
16-18,20	(1)-18"
19,21,22	(2)-18"

NOTE: CULVERT SIZES SHOWN ARE A MINIMUM. HOME OWNER MAY ELECT TO INSTALL ANOTHER SIZE CULVERT WITH EQUAL OR GREATER CAPACITY OR ELECT TO NOT INSTALL A CULVERT IF CONDITIONS ALLOW, AS LONG AS DRIVEWAYS ARE NOT BUILT TO IMPEDE FLOW OR BACK UP WATER. CULVERTS SHALL MAINTAIN THE EXISTING DIRECTION OF STORM WATER FLOW

FINISHED FLOOR NOTE:  
FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF 2' ABOVE BASE FLOOD ELEVATIONS (BFE'S) SHOWN ON THE PLAT. BFE'S ARE BASED ON FEMA'S BFE ESTIMATOR AT THE TIME OF PLATTING AND ARE SUBJECT TO CHANGE.



THE STATE OF TEXAS §  
COUNTY OF ATASCOSA §

THE OWNER OF THE LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. ADDITIONALLY, THE OWNERS AGREE TO EXTEND PUBLIC UTILITIES LISTED ON THIS PLAT ADJACENT TO EACH PLATTED LOT BEFORE SAID LOT IS SOLD.

OWNER:  
HAUKI INVESTMENTS LLC  
20965 CIELO VISTA DR  
SAN ANTONIO, TEXAS 78255

STATE OF TEXAS §  
COUNTY OF ATASCOSA §

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_, KNOWN TO ME TO BE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS GIVEN UNDER MY HAND AND SEAL OF OFFICE, DATED THIS DAY OF \_\_\_\_\_, 20\_\_ A.D.

NOTARY PUBLIC \_\_\_\_\_

#### CERTIFICATE OF THE PRECINCT COMMISSIONER

I, THE UNDERSIGNED COMMISSIONER IN THE PRECINCT IN WHICH THE LAND SUBDIVIDED ACCORDING TO THE PLAT TO WHICH THIS CERTIFICATE IS PRESENTED, HEREBY CERTIFY THAT I HAVE REVIEWED THE SAID PLAT AND THAT ALL REQUIREMENTS OF ATASCOSA COUNTY FOR THE PRESENTATION OF THE PLAT FOR FINAL APPROVAL HAVE BEEN FULLY MET TO THE BEST OF MY KNOWLEDGE AND BELIEF.

COMMISSIONER PRECINCT 3 \_\_\_\_\_

#### CERTIFICATE OF FINAL APPROVAL

APPROVED BY THE COMMISSIONERS COURT OF ATASCOSA COUNTY, TEXAS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ A.D.

ATASCOSA COUNTY JUDGE \_\_\_\_\_

COMMISSIONER PRECINCT 1 \_\_\_\_\_

COMMISSIONER PRECINCT 2 \_\_\_\_\_

COMMISSIONER PRECINCT 3 \_\_\_\_\_

COMMISSIONER PRECINCT 4 \_\_\_\_\_

#### CERTIFICATE OF COUNTY ATTORNEY

ALL REQUIREMENTS OF THE SUBDIVISION ORDER CURRENTLY IN EFFECT HAVE BEEN MET ACCORDING TO MY BEST KNOWLEDGE AND BELIEF, AND THIS PLAT IS APPROVED FOR FINAL SUBMISSION.

COUNTY ATTORNEY \_\_\_\_\_

PROPERTY INFORMATION  
PROPERTY ID: 18858  
LEGAL ACRES: 567.86  
LEGAL DESC.: BROWN RANCH LOT 1

PROPERTY INFORMATION  
PROPERTY ID: 16804  
LEGAL ACRES: 50.00  
LEGAL DESC.: ABS A00936 CEP IRRG & MFG CO SV-600

LOT SUMMARY TABLE				
LOT SIZE	NO. OF LOTS	WATER WELL	COLLECTIVE SEWER	OSSF
< 2.5 AC	0			0
2.5-10 AC	27			27
> 10 AC	0			0
TOTAL	27			27

PLAT INCLUDES 0 LF STREET

TOTAL ACREAGE: 138.78 AC

SHEET 1 OF 5 23-3064B

Date: Jan 04, 2024, 1:14pm, User ID: CAD2023-1  
File: N:\Projects\2023\23-3064B\Kakowicz\23-3064B PLAT.dwg

**LEGEND**

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OF REAL PROPERTY OF  
ATASCOSA COUNTY, TEXAS

P.G.S. = PAGES

R.O.W. = RIGHT-OF-WAY

VOL. = VOLUME

A.C.A.D. = ATASCOSA COUNTY  
APPRAISAL DISTRICT

LOT NUMBER

4  
101 AC

GROSS LOT ACREAGE

○ = FOUND STEEL ROD MONUMENT

● = SET 5/8" STEEL ROD MONUMENT WITH CAP STAMPED  
"RAKOWITZ ENGINEERING & SURVEYING"

— = PROPERTY LINE

— = LOT LINE

— = 100-YEAR FLOODPLAIN  
PER FEMA MAP NO.  
45010C0410C, EFFECTIVE DATE:  
10/04/2010

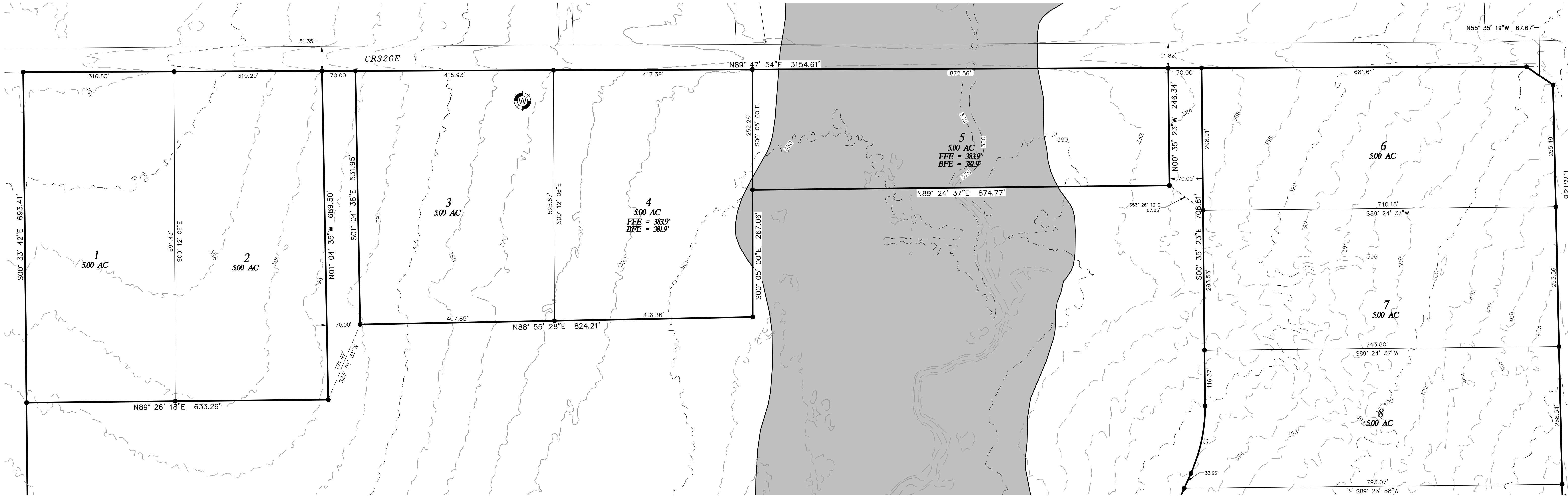
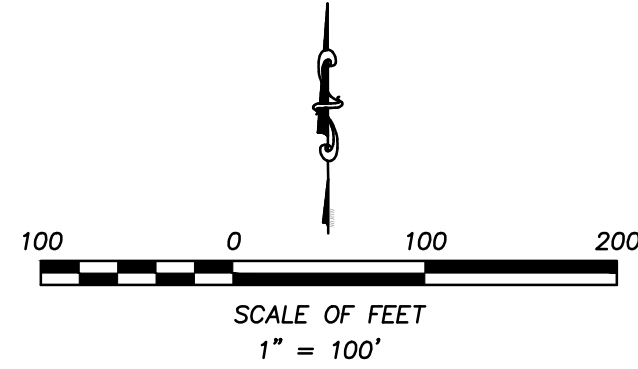
— = ADDITION

- - - = EXISTING CONTOUR

⊙ = EXISTING WATER WELL

FINISHED FLOOR NOTE:  
FINISHED FLOOR ELEVATIONS SHALL BE A  
MINIMUM OF 2' ABOVE BASE FLOOD  
ELEVATIONS (BFE'S) SHOWN ON THE PLAT.  
BFE'S ARE BASED ON FEMA'S BFE ESTIMATOR  
AT THE TIME OF PLATTING AND ARE SUBJECT  
TO CHANGE.

CURVE TABLE				
CURVE	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	335.00'	024°59'21"	S11°54'17"W	144.95'
				146.11'



PLAT  
OF  
SONORA HEIGHTS - UNIT 1

ENGINEER & SURVEYOR:  
RAKOWITZ ENGINEERING AND SURVEYING  
515 W OAKLAWN, SUITE A  
PLEASANTON, TX 78064  
(830) 281-4060

OWNER:  
HAUKI INVESTMENTS LLC  
20965 CIELO VISTA DR.  
SAN ANTONIO, TEXAS 78255  
(210) 827-0750



830.281.4060 515 W Oaklawn Rd Suite A PLEASANTON, TX 78064

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PROPERTY ID: 18858  
LEGAL ACRES: 567.86  
LEGAL DESC.: BROWN RANCH LOT 1

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LEGAL DESC.: ABS A00936 CEP IRRG  
& MFG CO SV-600

LOT SUMMARY TABLE				
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< 2.5 AC	0			0
2.5-10 AC	27			27
> 10 AC	0			0
TOTAL	27			27

PLAT INCLUDES 0 LF STREET

TOTAL ACREAGE: 138.78 AC

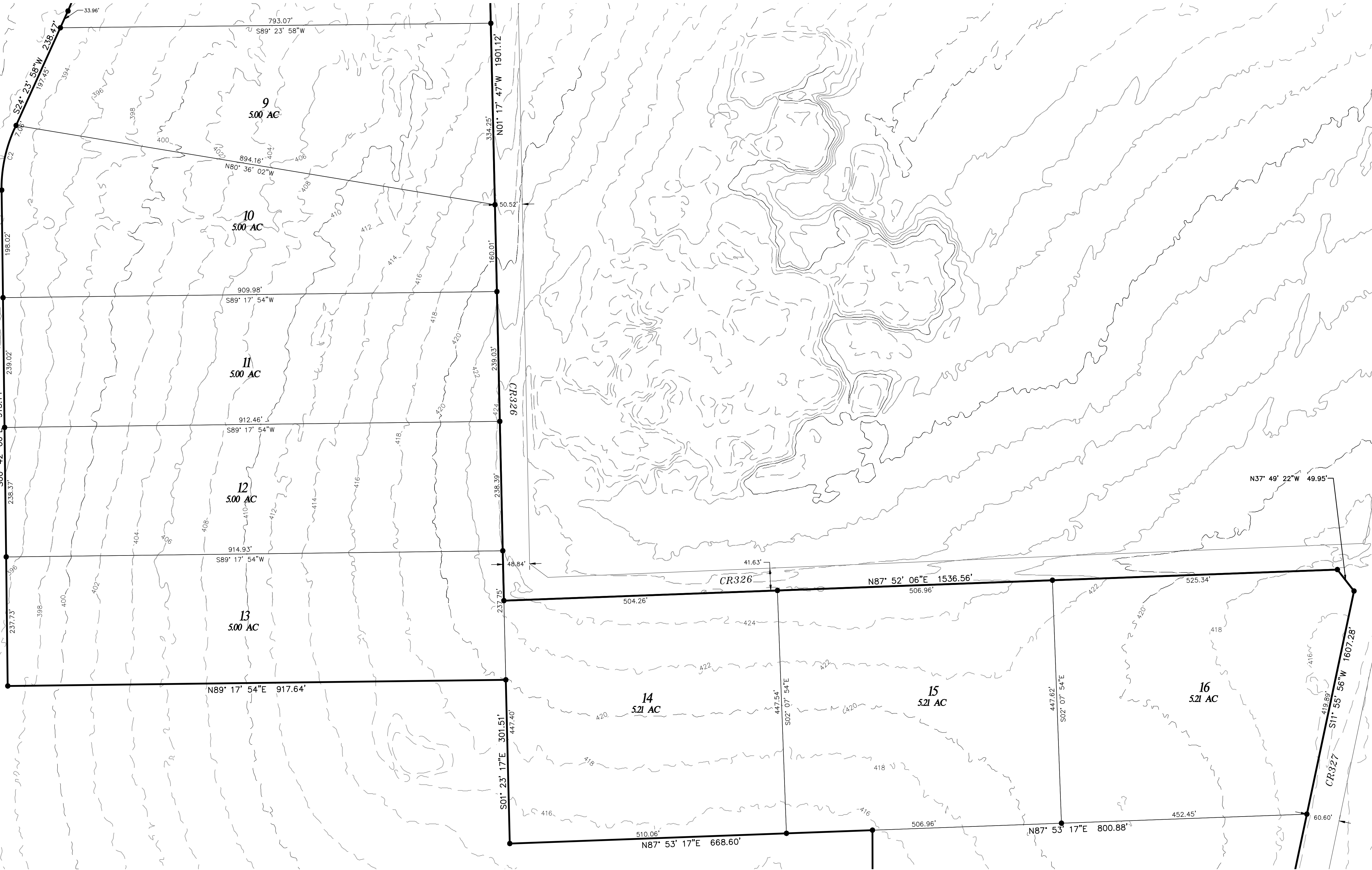
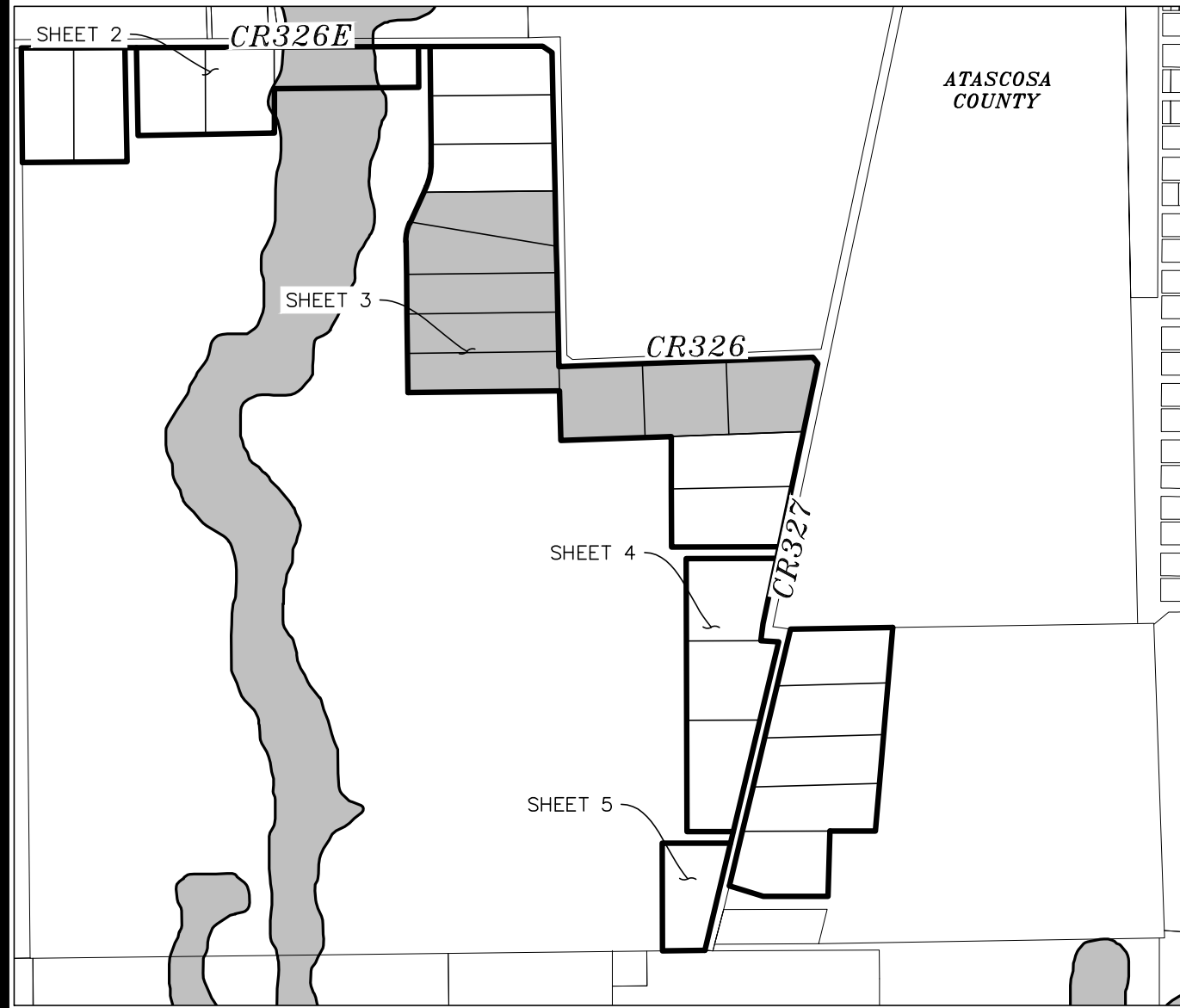
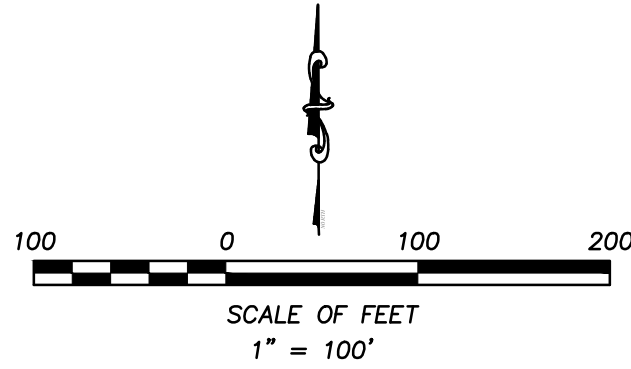
SHEET 2 OF 5 23-3064B

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### LEGEND

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4 LOT NUMBER  
101 AC GROSS LOT ACREAGE
- = FOUND STEEL ROD MONUMENT  
● = SET 5/8" STEEL ROD MONUMENT WITH CAP STAMPED  
"RAKOWITZ ENGINEERING & SURVEYING"
- = PROPERTY LINE  
— = LOT LINE  
— = 100-YEAR FLOODPLAIN  
= PER FEMA MAP NO.  
48015C0275C, EFFECTIVE DATE:  
11/04/2010  
— = ADJOINER  
--- 650 --- = EXISTING CONTOUR

CURVE TABLE				
CURVE	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C2	265.00'	025°06'04"	S11°30'56"W	115.17' 116.10'



ENGINEER & SURVEYOR:  
RAKOWITZ ENGINEERING AND SURVEYING  
515 W OAKLAWN, SUITE A  
PLEASANTON, TX 78064  
(830) 281-4060

OWNER:  
HAUKI INVESTMENTS LLC  
20965 CIELO VISTA DR.  
SAN ANTONIO, TEXAS 78255  
(210) 827-0750



830.281.4060 515 W Oaklawn Rd Suite A PLEASANTON, TX 78064

## PLAT OF SONORA HEIGHTS - UNIT 1

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PROPERTY ID: 18858  
LEGAL ACRES: 567.86  
LEGAL DESC.: BROWN RANCH LOT 1

PROPERTY INFORMATION  
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LEGAL ACRES: 50.00  
LEGAL DESC.: ABS A00936 CEP IRRG  
& MFG CO SV-600

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< 2.5 AC	0			0
2.5-10 AC	27			27
> 10 AC	0			0
TOTAL	27			27

PLAT INCLUDES 0 LF STREET

TOTAL ACREAGE:138.78 AC

SHEET 3 OF 5 23-30648



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**4**  
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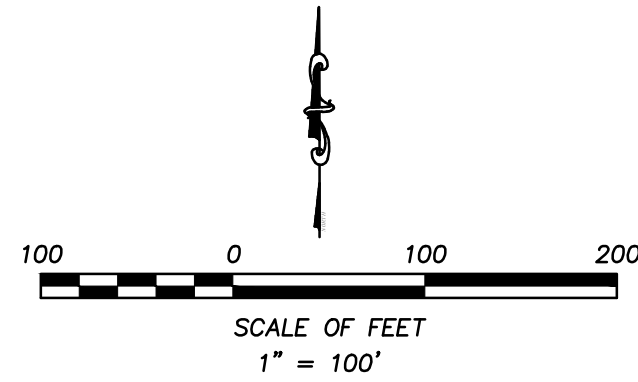
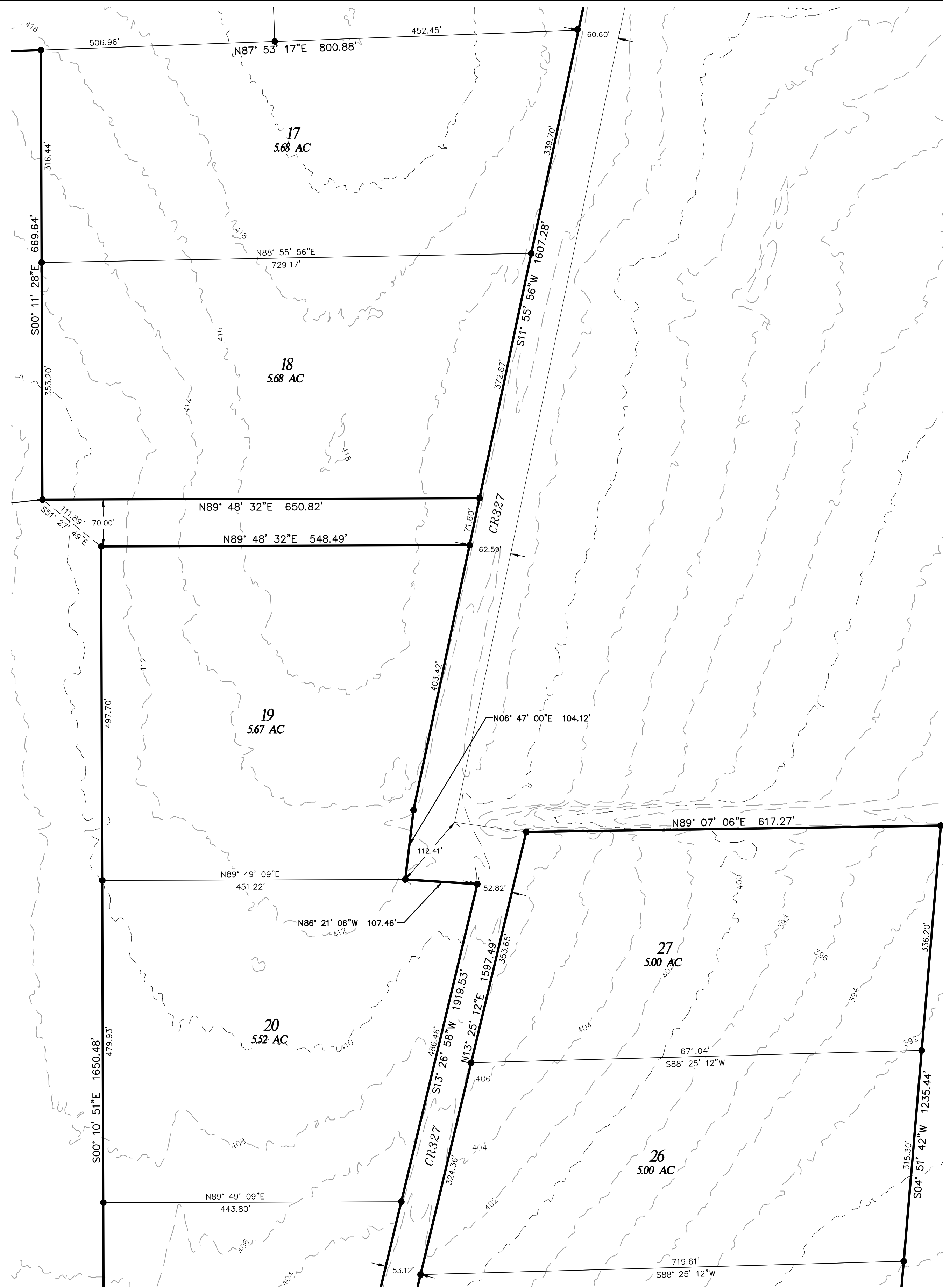
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= PER FEMA MAP NO.  
45815C0475G, EFFECTIVE DATE:  
11/04/2010

— = ADJOINER

--- 650 --- = EXISTING CONTOUR



ENGINEER & SURVEYOR:  
RAKOWITZ ENGINEERING AND SURVEYING  
515 W OAKLAWN, SUITE A  
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(830) 281-4060

OWNER:  
HAUKI INVESTMENTS LLC  
20965 CIELO VISTA DR.  
SAN ANTONIO, TEXAS 78255  
(210) 827-0750

NO.	REVISION	DATE	BY
1	PLAT CREATED	09/18/2023	RLT
2	PLAT UPDATED	12/20/2023	RLT
3	FINAL PLAT	01/08/2024	RLT



830.281.4060 515 W Oaklawn Rd Suite A PLEASANTON, TX 78064

PLAT  
OF  
SONORA HEIGHTS -UNIT 1

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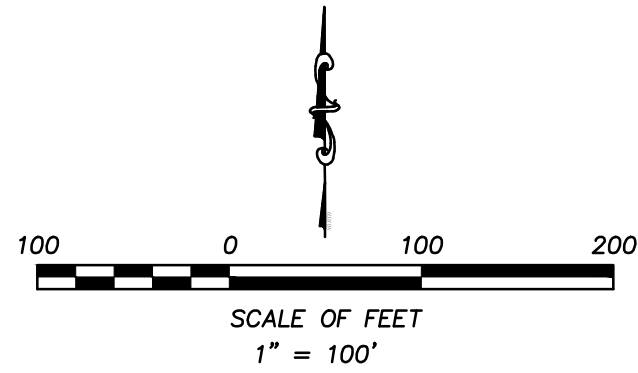
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PLAT INCLUDES 0 LF STREET TOTAL ACREAGE:138.78 AC

Date: Jan 04, 2024, 1:18pm, User ID: CAD2023-1  
File: N:\Projects\2023\23-3064B Rakowitz CR326 Jurisdiction Unit 1\Civil\Plot\23-3064B PLAT.dwg

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— = PER TEMA MAP NO. 480130M120, EFFECTIVE DATE: 11/04/2015  
— = ADJOINER  
- - - 650 - - - = EXISTING CONTOUR  
- - - - - = EXISTING LONE STAR PIPELINE ESMT



PLAT  
OF  
SONORA HEIGHTS - UNIT 1

ENGINEER & SURVEYOR:  
RAKOWITZ ENGINEERING AND SURVEYING  
515 W OAKLAWN, SUITE A  
PLEASANTON, TX 78064  
(830) 281-4060

OWNER:  
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